



8578

824 - 834 FOREST ROAD

PEAKHURST, NSW 2210

PROPOSED RESIDENTIAL DEVELOPMENT

RIVERWOOD TRAIN STATION RIVERWOOD CITY CENTRE RAILWAY TO CBD

RAILWAY TO PADSTOW

HENRY LAWSON DR. TO PADSTOW HEIGHTS

PEAKHURST WEST PUBLIC SCHOOL

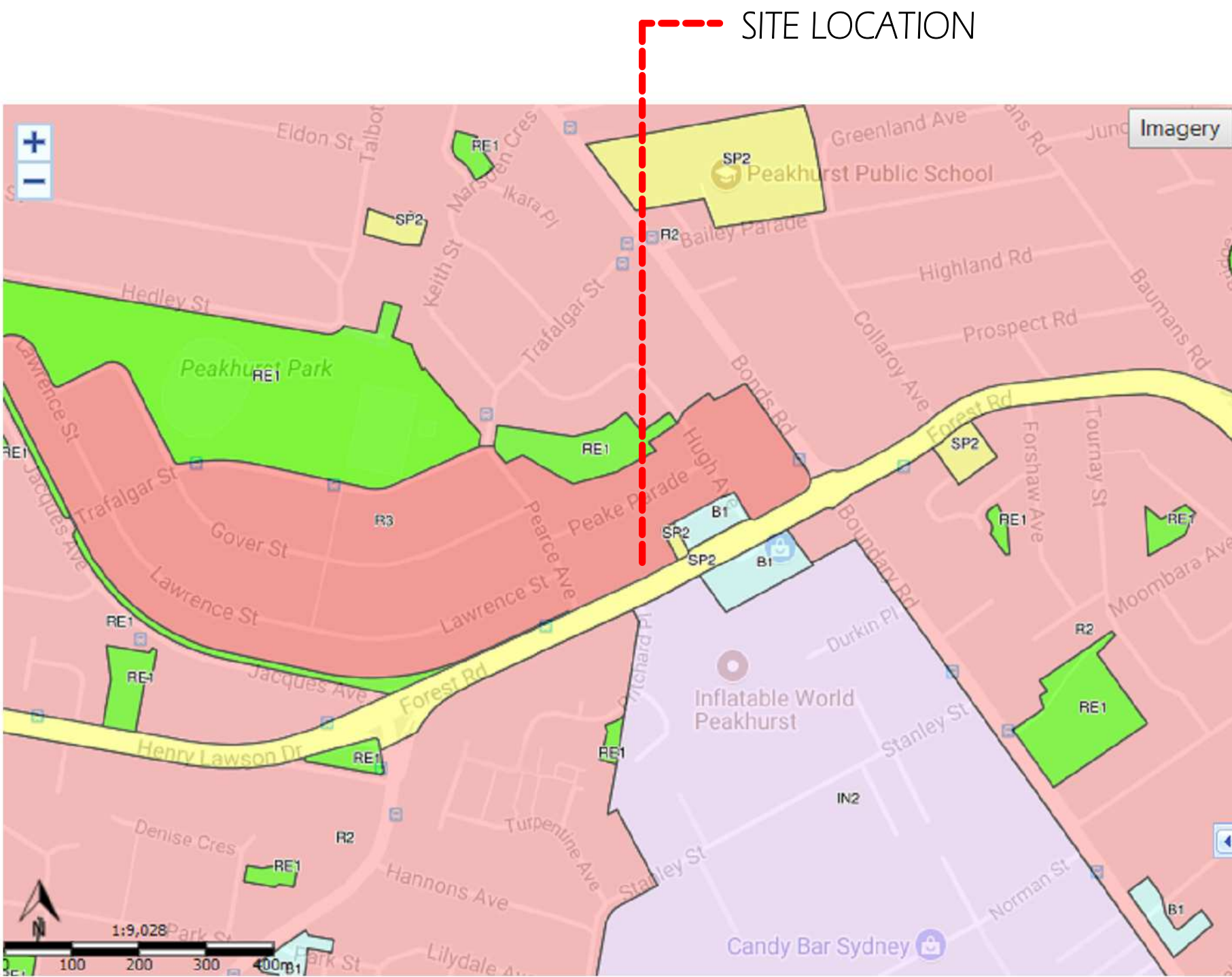
SITE LOCATION

PEAKHURST NEIGHBORHOOD CENTRE

PEAKHURST PUBLIC SCHOOL

FOREST RD. TO PENTHURST

- 9 MIN WALK FROM SITE TO PEAKHURST PUBLIC SCHOOL
- 18 MIN WALK FROM SITE TO PEAKHURST WEST PUBLIC SCHOOL
- 21 MIN WALK TO RIVERWOOD TRAIN STATION
- MAJOR BUS ROUTES ALONG FOREST RD.

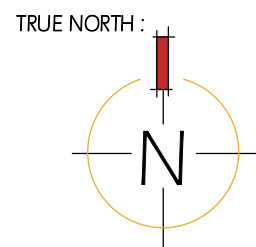


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Rustom Wee Chung Kudinar-Kwee (reg. 4570) : Nominated Architect

PROJECT STATUS :
Development Application

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
824 - 834 FOREST ROAD
PEAKHURST, NSW 2210
LGA : GEORGES RIVER COUNCIL

SHEET TITLE:
SITE CONTEXT

SCALE
85/78
JOB No.
DA01
DRAWING No.

B
ISSUE

DEVELOPMENT SUMMARY

	ALLOWABLE	PROPOSED	COMPLIES
01. SITE AREA	-	4,072.13m ²	N/A
02. ZONE	R3	-	YES
03. BUILDING HEIGHT	MAX. 12 m	13 m	NO
04. FSR	1.5 : 1 (ALLOWABLE 1.0:1 + AFFORDABLE BONUS 0.5:1)	1.38 : 1 5,617.4 m ²	YES
05. NUMBER OF UNIT	-	1 BEDROOM / STUDIO = 24 2 BEDROOM = 42 3 BEDROOM = 6 TOTAL = 72	YES
07. SOLAR ACCESS	70 %	72.22 % (52 OF 72 UNITS)	YES
08. CROSS VENTILATION	60 %	65.28 % (47 OF 72 UNITS)	YES
09. ADAPTABLE UNIT	10% OF 72 UNITS = 8 UNIT	8 UNIT	YES
10. DEEP SOIL ZONE (MIN 6.M DIMENSION)	610.8195 m ² (15 % OF SITE)	662.87 m ² (16.28 % OF SITE)	YES
11. LANDSCAPE	1,221.64 m ² (30 % OF SITE)	1,222.3 m ² (30.02 % OF SITE)	YES
12. COMMON OPEN SPACE	1,018.03 m ² (25 % OF SITE)	1,115.3 m ² (27.39 % OF SITE)	YES

13. UNIT MIX

BLOCK A MIX:	1BR	2BR	3BR	TOTAL
GL:	5	5	0	10
L1:	3	6	1	10
L2:	3	6	1	10
L3:	2	4	1	7
TOTAL:	13	21	3	37

BLOCK B MIX:	1BR	2BR	3BR	TOTAL
GL:	3	4	2	9
L1:	4	6	0	10
L2:	4	6	0	10
L3:	0	5	1	6
TOTAL:	11	21	3	35

BLOCK A + B:	1BR	2BR	3BR	TOTAL
BLOCK A:	13	21	3	37
BLOCK B:	11	21	3	35
TOTAL:	24 (33%)	42 (58%)	6 (8%)	72

AFFORDABLE UNIT MIX:

1 BR : 10 UNITS
2 BR : 16 UNITS
3 BR : 3 UNITS
TOTAL : 29 UNITS

PARKING SPACES

FOR DCP

1BR 14 X 1 = 14 SPACES
2BR 26 X 1 = 26 SPACES
3BR 3 X 2 = 6 SPACES
VS 43/4 = 10.8 SPACES
SUIB- TOTAL = 56.8 SPACES

TOTAL REQUIRED

TOTAL PROVIDED

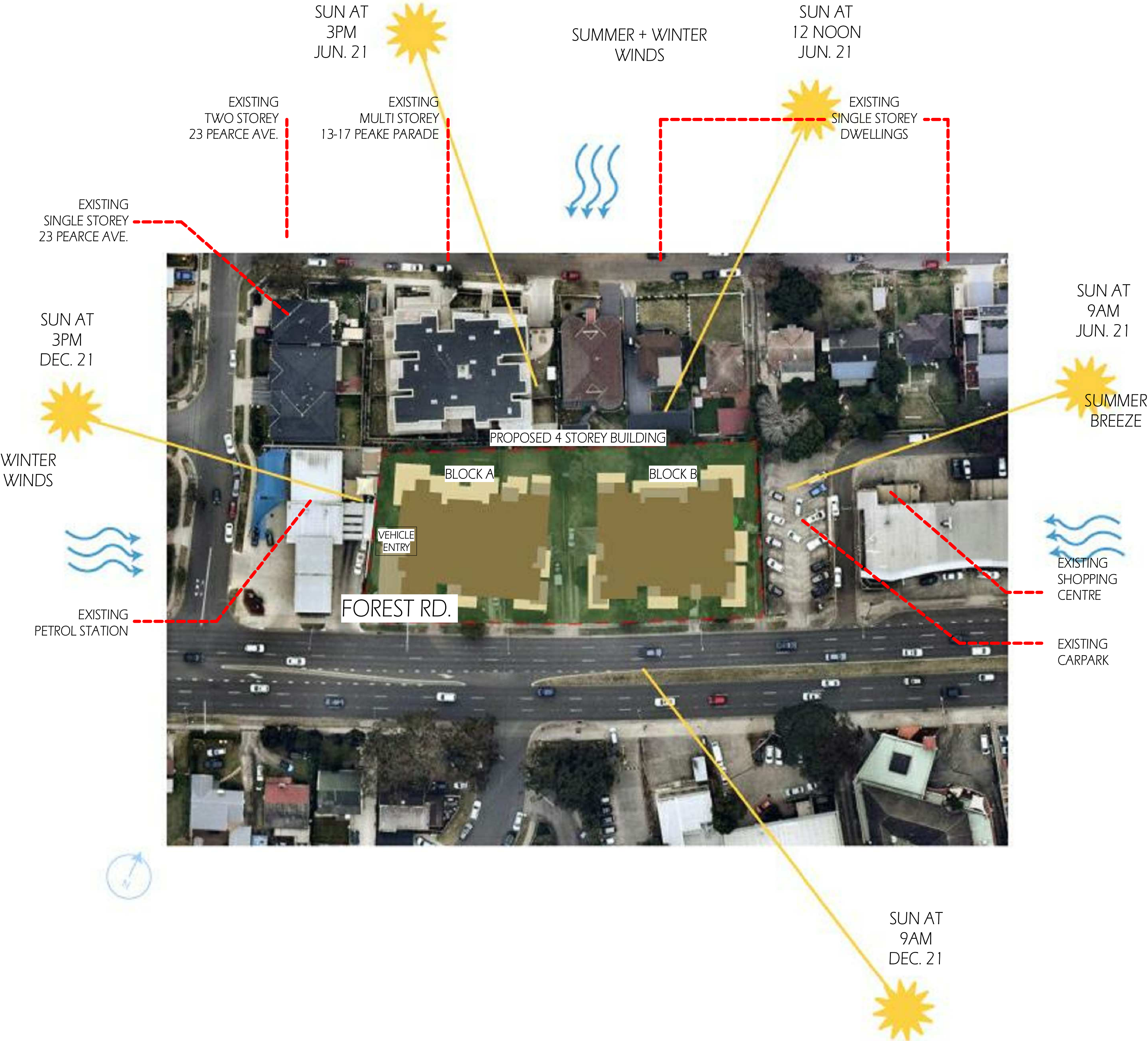
FOR AFFORDABLE HOUSING

1BR 10 X 0.5 = 5 SPACES
2BR 16 X 1 = 16 SPACES
3BR 3 X 1.5 = 4.5 SPACES

= 25.5 SPACES

= 83 SPACES

= 83 SPACES



ISSUE B
- Development summary has been updated as per amended plans.

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PROPOSED RESIDENTIAL
DEVELOPMENT
824 - 834 FOREST ROAD
PEAKHURST, NSW 2210

LGA : GEORGES RIVER COUNCIL

SHEET TITLE:
SITE ANALYSIS

SCALE
85/78
JOB No.

DA02
DRAWING No.

B
ISSUE



SITE PLAN
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

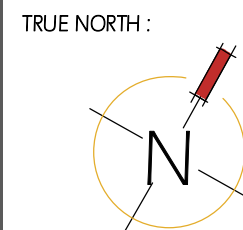
LEGEND
--- TREE TO BE REMOVED
--- BUILDING TO BE DEMOLISHED

ISSUE B
Common Open Space has been adjusted.
- Pergola over driveway over driveway with 3.5m height clearance has been added to improve visual.

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SHEET TITLE
SITE PLAN

SCALE
85/78
JOB No.
DA03
DRAWING No.

B
ISSUE



BASEMENT
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

Ext. Walls:	Construction	Insulation	Colour	Details
	Brick Veneer FC Clad	R2.5 bulk R2.5 bulk	Varies Dark	As per plans As per plans
Int. Walls:	Construction	Insulation		Details
	AAC with Plasterboard Concrete	None None		Intertency To stairs/lift
Floors:	Construction	Insulation		Details
	Concrete Concrete	R1.4 added R1.4 added		Where carpark below Where open below of Unit A12 & A20
Ceilings:	Construction	Insulation		Details
	Plasterboard	None		As per plans
Roof:	Construction	Insulation	Colour	Details
	Concrete	R2.5 bulk	Light	As per plans including balconies
Windows:	Product ID	Glass	Frame	Uw/SHGCw Details
	Group A ALM-003-03 A	Double Clear	Aluminium	4.30/0.47 Awning - Units A31, A32, B30, B31
	Group B ALM-004-03 A	Double Clear	Aluminium	4.30/0.53 Sliding - Units A31, A32, B30, B31
	Group A ALM-001-03 A	Single Low E	Aluminium	5.40/0.49 Awning - Units A35
	Group B ALM-002-03 A	Single Low E	Aluminium	5.40/0.58 Sliding - Units A02, A35, A36, B01, B35
	Group A ALM-001-01 A	Single Clear	Aluminium	6.70/0.57 Awning - elsewhere as per plans
	Group B ALM-002-01 A	Single Clear	Aluminium	6.70/0.70 Sliding - elsewhere as per plans
Skylights:	Product ID	Glass	Frame	Uw Details
	GEN-04-006a	Single Clear	Aluminium	4.89 Units A31, A37, B30 and B35 only
Other:	Orientation	Terrain	Weatherseals	Exhaust Dampers
	330	Suburban	Yes	Yes
				Recessed Downlights
				No

legend

STORAGE

ISSUE B

- Basement outline has been adjusted to open up the central deep soil area on ground floor.
- Central exit stair has been removed in lieu of two side stairs.
- Accessible carparks has been relocated closer to lifts.

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B
A
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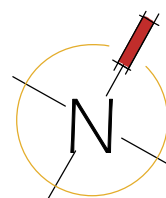
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DATE

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SHEET TITLE:

BASEMENT PLAN

SCALE

85/78
JOB No.

DA04
DRAWING No.

B
ISSUE



GROUND FLOOR PLAN
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

- ISSUE B
- Unit A01, A02, A05, A06, A07, A08, B03, B04, B05, B06, B07, B08 internal layout has been adjusted.
 - Common Open Space has been adjusted.
 - Pergola over driveway over driveway with 3.5m height clearance has been added to improve visual.
 - OSD basin has been moved to the east by about 3500mm.



LEVEL 1 PLAN
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

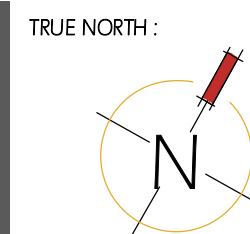
ISSUE B
- Unit A13, A14, A15, A16, A17, A18, A19, B13, B14, B15, B16, B17 internal layout has been adjusted.

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SHEET TITLE:
LEVEL 1 PLAN

SCALE
85/78
JOB No.

DA06
DRAWING No.

B
ISSUE



LEVEL 2 PLAN
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

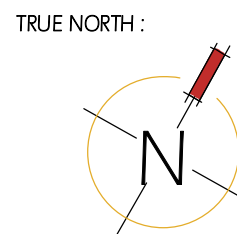
ISSUE B
- Unit A23, A24, A25, A26, A27, A28, A29, B23, B24, B25, B26, B27 internal layout has been adjusted.

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PEAKHURST, NSW 2210

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SHEET TITLE

LEVEL 2 PLAN

SCALE

85/78

JOB No.

DA07

DRAWING No.

B

ISSUE



LEVEL 3 PLAN
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

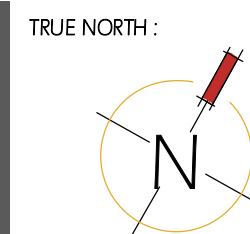
ISSUE B
- Unit B31, B34 internal layout has been adjusted.
- Skylight added on unit A34 & B32.

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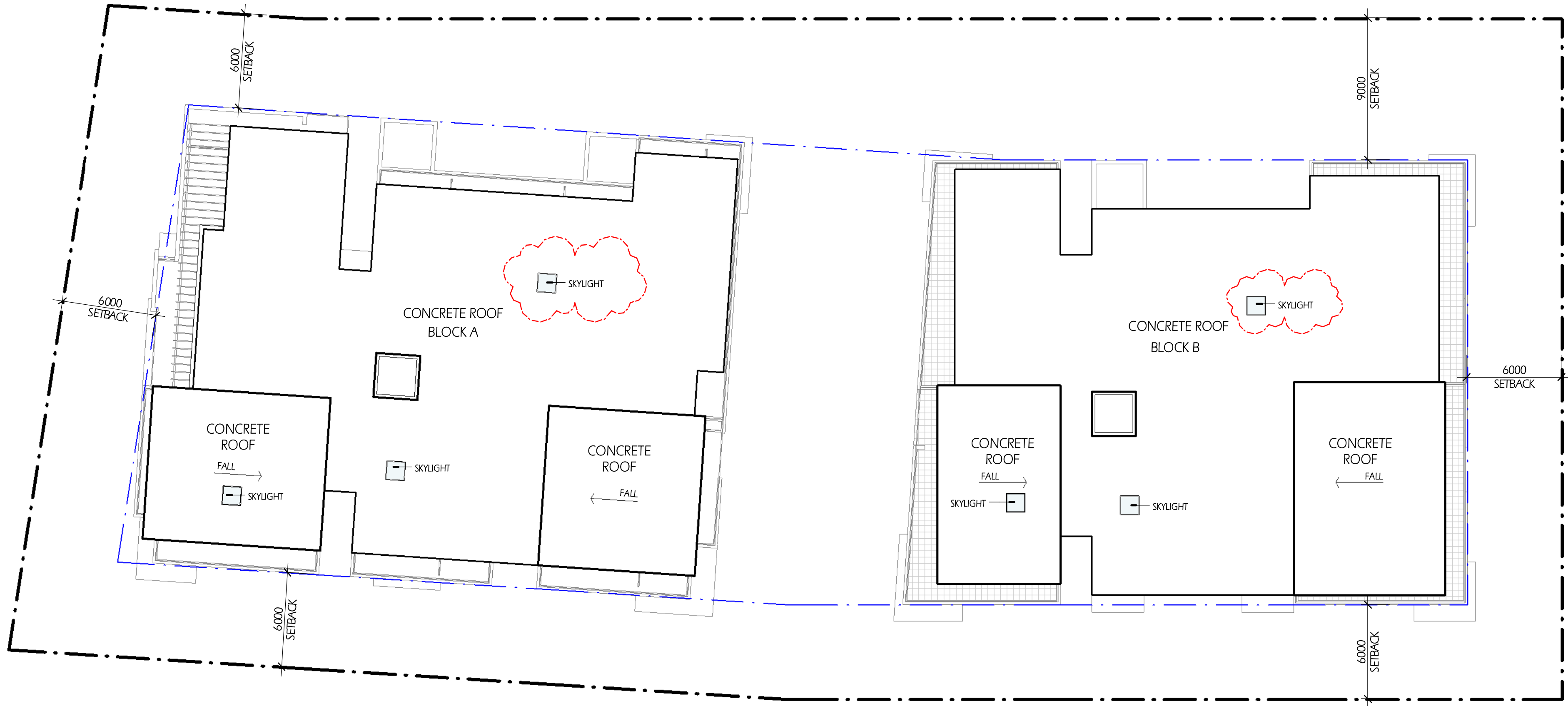
LGA : GEORGES RIVER COUNCIL

SHEET TITLE:
LEVEL 3 PLAN

SCALE
85/78
JOB No.

DA08
DRAWING No.

B
ISSUE



ROOF PLAN
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet

ISSUE B
- Skylight added on unit A34 & B32.

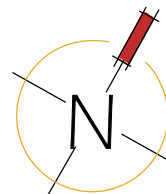
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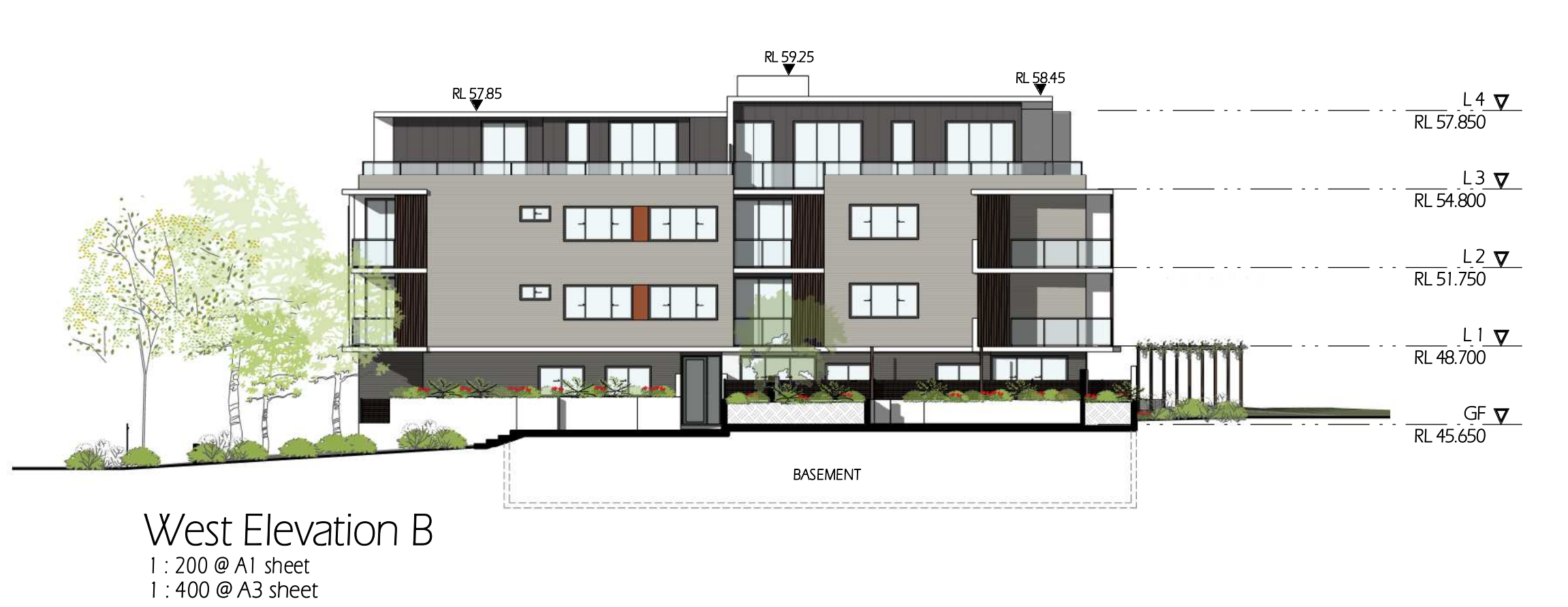
ROOF PLAN

SCALE

85/78
JOB No.

DA09
DRAWING No.

B
ISSUE



ISSUE B
- Elevation updated to suit the amended floor plans

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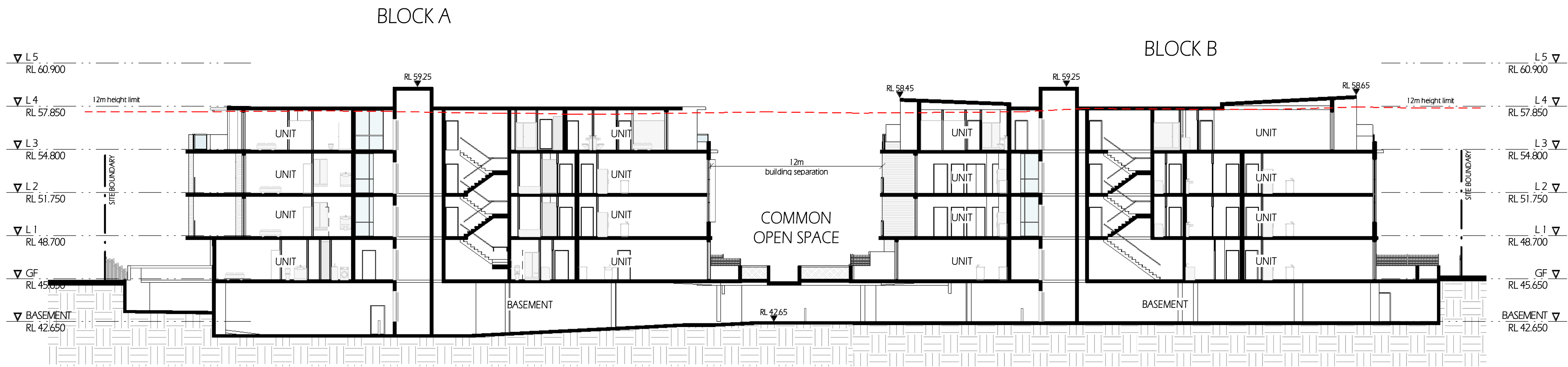
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SHEET TITLE:
ELEVATION

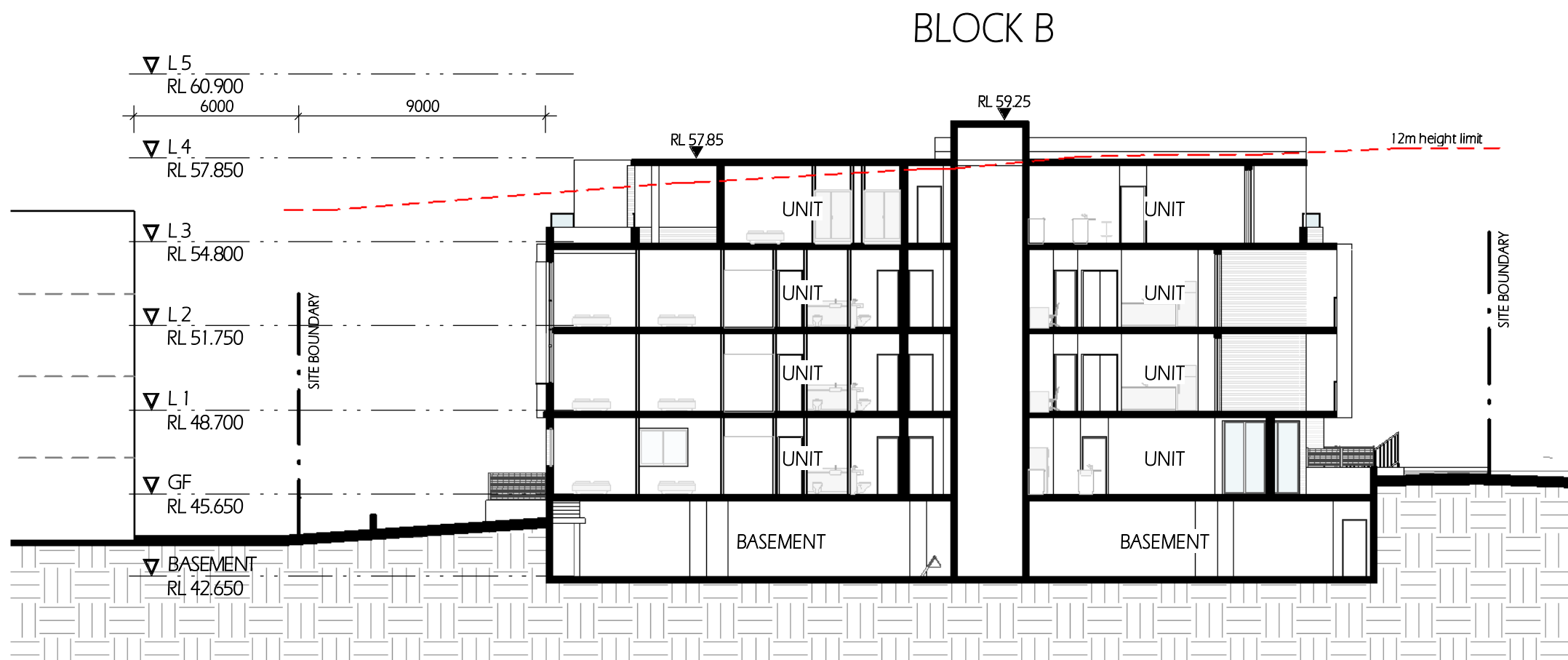
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JOB No.

DA10
DRAWING No.

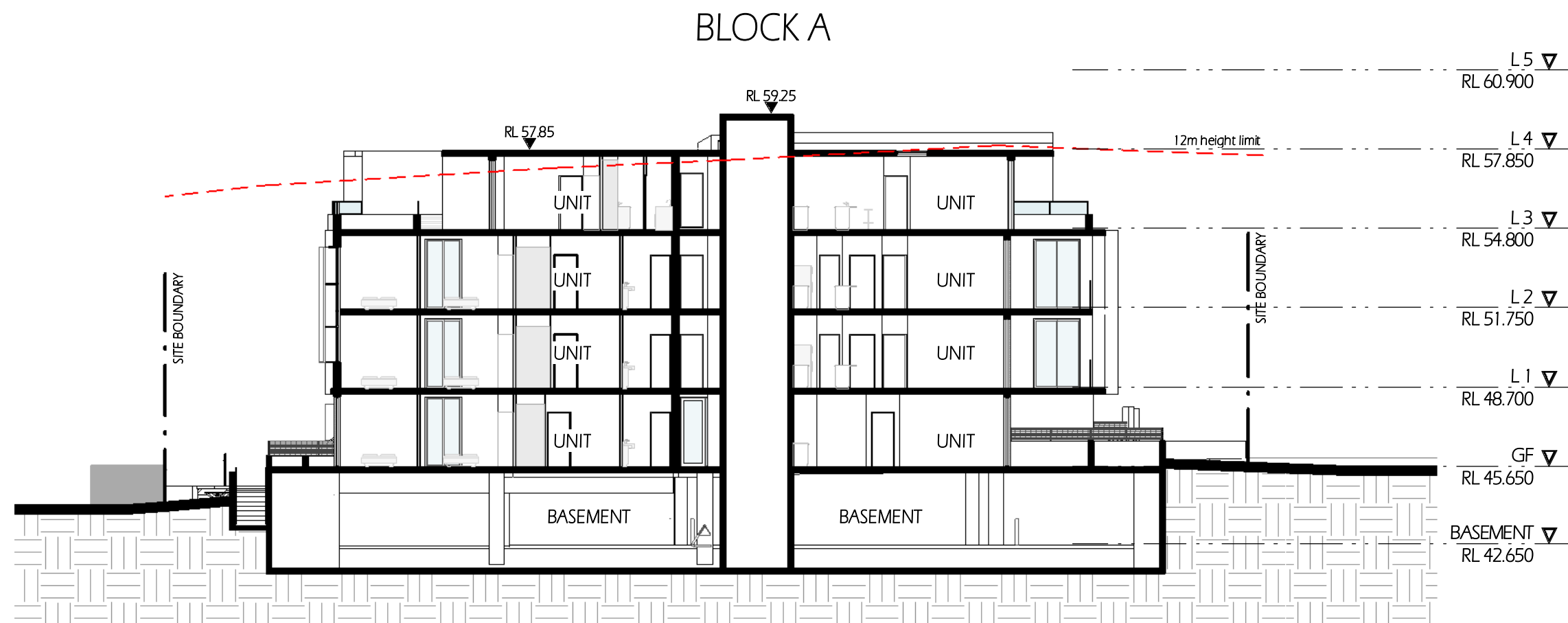
B
ISSUE



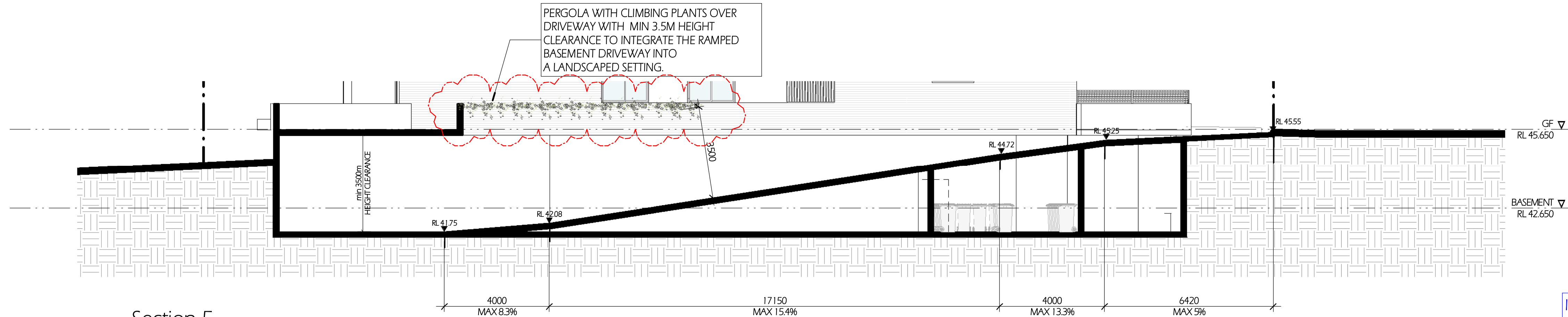
Section 1
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



Section 3
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



Section 4
1 : 200 @ A1 sheet
1 : 400 @ A3 sheet



Section 5
1 : 100 @ A1 sheet
1 : 200 @ A3 sheet

ISSUE B
- Section updated to suit the amended floor plans
- Pergola with climbing plants over driveway has been added.

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LGA : GEORGES RIVER COUNCIL

SHEET TITLE

SECTION

SCALE

85/78

JOB No.

DA11

DRAWING No.

B

ISSUE



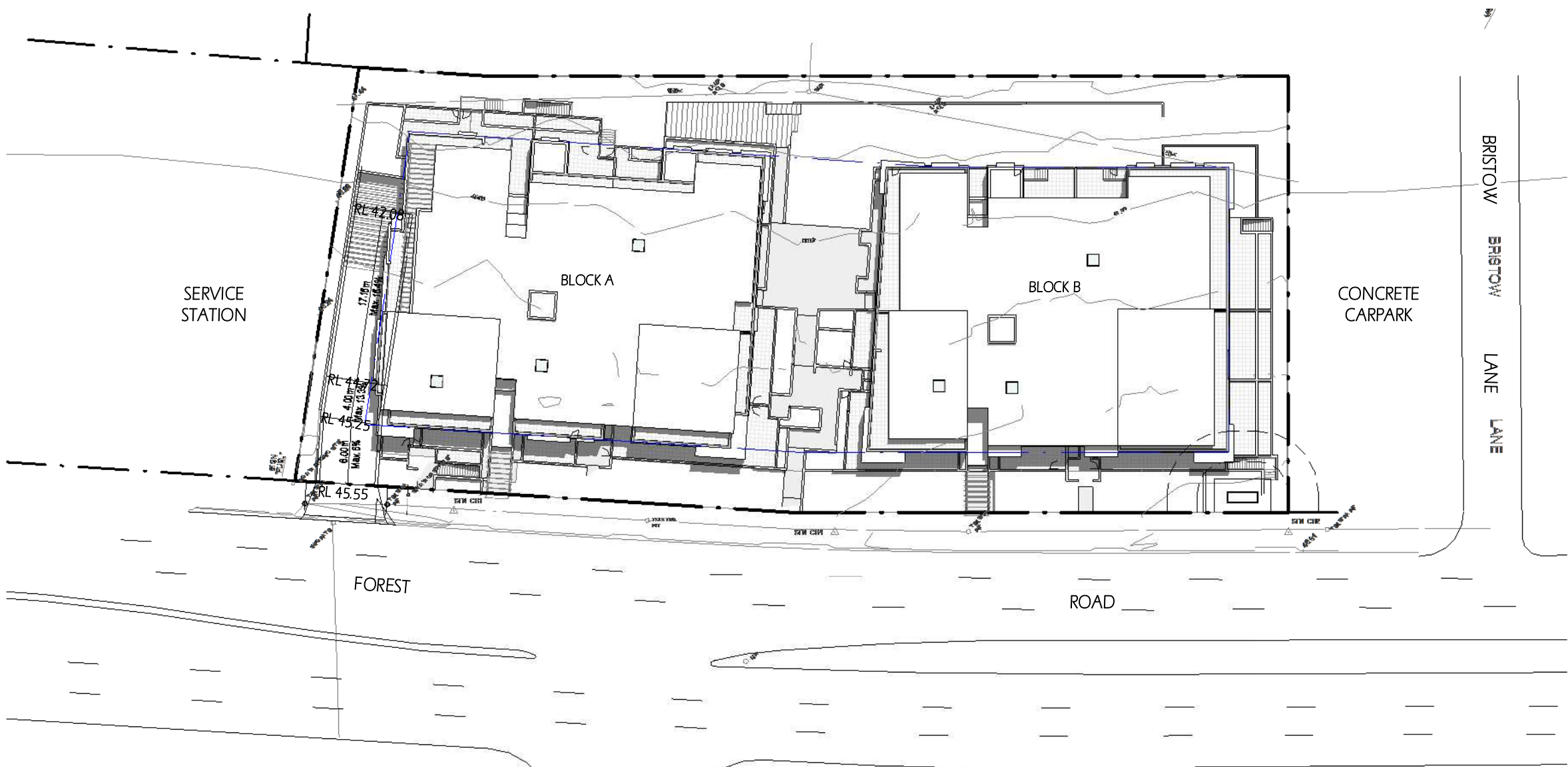
SHADOW DIAGRAM WINTER SOLSTICE 9 AM



SHADOW DIAGRAM SUMMER SOLSTICE 9AM



SHADOW DIAGRAM WINTER SOLSTICE 12 NOON



SHADOW DIAGRAM SUMMER SOLSTICE 12 NOON



SHADOW DIAGRAM WINTER SOLSTICE 3 PM



SHADOW DIAGRAM SUMMER SOLSTICE 3 PM

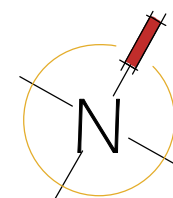
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A	ISSUED FOR DA SUBMISSION	30/10/18	WV	JA
ISSUE	AMENDMENT	DATE	DRAWN	CHECK

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Rustom Wee Chung Kudinar-Kwee (reg. 4570) : Nominated Architect

PROJECT STATUS :
Development Application

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
824 - 834 FOREST ROAD
PEAKHURST, NSW 2210
LGA : GEORGES RIVER COUNCIL

SHEET TITLE
SHADOW DIAGRAMS

SCALE
85/78
JOB No.

DA12
DRAWING No.

B
ISSUE



3D HEIGHT LIMIT

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DEVELOPMENT
824 - 834 FOREST ROAD
PEAKHURST, NSW 2210

LGA : GEORGES RIVER COUNCIL

SHEET TITLE:

HEIGHT STUDY

SCALE
85/8
JOB No.


DA13
DRAWING No.

B
ISSUE




COLOUR & MATERIAL SCHEDULE


01.




FACE BRICK WALL TYPE 1
AUSTRAL - WHITSUNDAY - BRAMPTON
02.




FACE BRICK WALL TYPE 2
AUSTRAL - METALLIX - BRONZE
03.




WALL - COMPRESSED FIBRE CEMENT CLADDING
PAINT - DULUX - RAKU - SN4H7
04.



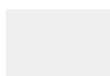
WALL - APPLIED TEXTURE PAINT FINISH - TYPE 1
PAINT - DULUX - LEXICON QUARTER - SW1E1
05.




WALL - APPLIED TEXTURE PAINT FINISH - TYPE 2
PAINT - DULUX - VERY TERRACOTTA - S08E8
OR SIMILAR
06.




PAINTED COMPRESSED FIBRO SHEET
DULUX COLOUR - VERY TERRACOTTA - S08E8
OR SIMILAR
07.



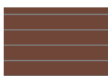
PAINTED COMPRESSED FIBRO SHEET
DULUX COLOUR - LEXICON QUARTER - SW1E1
08.



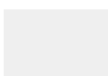
PAINTED COMPRESSED FIBRO SHEET
DULUX COLOUR - CLAY PIPE - S10D1 OR SIMILAR
09.




PAINTED COMPRESSED FIBRO SHEET
DULUX COLOUR - TRANQUIL RETREAT - GR24
OR SIMILAR
10.




ALUMINIUM TIMBER SCREEN & PRIVACY SCREEN
KNOTWOOD - CHESTNUT OR SIMILAR
11.



CONCRETE ROOF
PAINT - DULUX - LEXICON QUARTER - SW1E1
12.



WINDOWS FRAME, RAILINGS, POST & STRUCTURE
ALUMINIUM - COLORBOND - MONUMENT
13.



GLASS BALUSTRADE
OBSCURE GLASS PANEL

ISSUE B
- Elevation updated to suit the amended floor plans

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PEAKHURST, NSW 2210

LGA : GEORGES RIVER COUNCIL

SHEET TITLE:
MATERIAL SCHEDULE

SCALE
85/78
JOB No.

DA14
DRAWING No.

B
ISSUE

AREA CALCULATIONS FOR AFFORDABLE HOUSING

TOTAL SITE AREA: 4,072.13 m²

ALLOWABLE FSR : 1

ALLOWABLE GFA : 1.5
: 1.5 x 4,072.13 = 6,108.19 m²

PROPOSED GFA: 5,617.4 m² (1,545.27 m² over)
EXTRA FSR CLAIMED: 1,545.27 m² / 4,072.13 m² = 0.3795

AFFORDABLE HOUSING ALLOCATION: 5,617.4 m² x 37.95% = **2,131.67 m²**

ISSUE B
- Area Calculation has been updated

FSR CALCULATION		
Level	Area	FSR
GF	1466.6 m ²	0.3602
L 1	1531.6 m ²	0.3761
L 2	1531.6 m ²	0.3761
L 3	1087.7 m ²	0.2671
Grand total: 80	5617.4 m ²	1.3795

AFFORDABLE			
Name	Area	Unit Type	Comments
A02	61.0 m ²	1 Bed	AFFORDABLE
A04	56.8 m ²	1 Bed	AFFORDABLE
A07	59.5 m ²	1 Bed	AFFORDABLE
A12	58.1 m ²	1 Bed	AFFORDABLE
A14	51.9 m ²	1 Bed	AFFORDABLE
A18	53.4 m ²	1 Bed	AFFORDABLE
A22	58.1 m ²	1 Bed	AFFORDABLE
A28	53.4 m ²	1 Bed	AFFORDABLE
B11	52.6 m ²	1 Bed	AFFORDABLE
B21	52.6 m ²	1 Bed	AFFORDABLE
1 Bed: 10	557.4 m ²		
A03	79.7 m ²	2 Bed	AFFORDABLE
A05	77.6 m ²	2 Bed	AFFORDABLE
A06	78.4 m ²	2 Bed	AFFORDABLE
A09	87.7 m ²	2 Bed	AFFORDABLE
A11	77.1 m ²	2 Bed	AFFORDABLE
A15	77.7 m ²	2 Bed	AFFORDABLE

AFFORDABLE			
Name	Area	Unit Type	Comments
A16	79.0 m ²	2 Bed	AFFORDABLE
A17	82.4 m ²	2 Bed	AFFORDABLE
A20	79.3 m ²	2 Bed	AFFORDABLE
A21	77.1 m ²	2 Bed	AFFORDABLE
A25	77.7 m ²	2 Bed	AFFORDABLE
A26	79.0 m ²	2 Bed	AFFORDABLE
A27	82.4 m ²	2 Bed	AFFORDABLE
A30	79.3 m ²	2 Bed	AFFORDABLE
B10	77.9 m ²	2 Bed	AFFORDABLE
B20	77.9 m ²	2 Bed	AFFORDABLE
2 Bed: 16	1270.0 m ²		
A19	103.5 m ²	3 Bed	AFFORDABLE
A29	103.5 m ²	3 Bed	AFFORDABLE
B08	97.5 m ²	3 Bed	AFFORDABLE
3 Bed: 3	304.4 m ²		
Grand total: 29	2131.9 m ²		

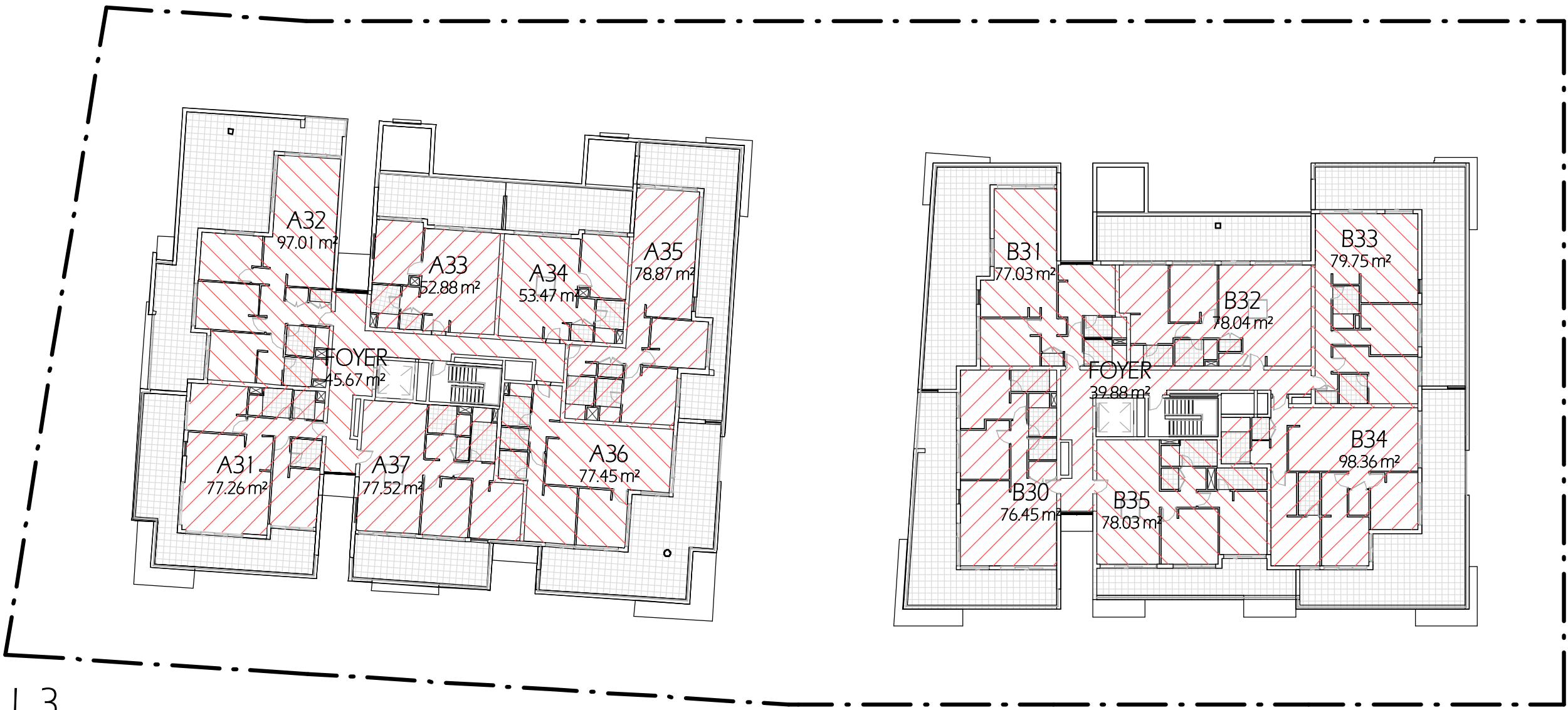
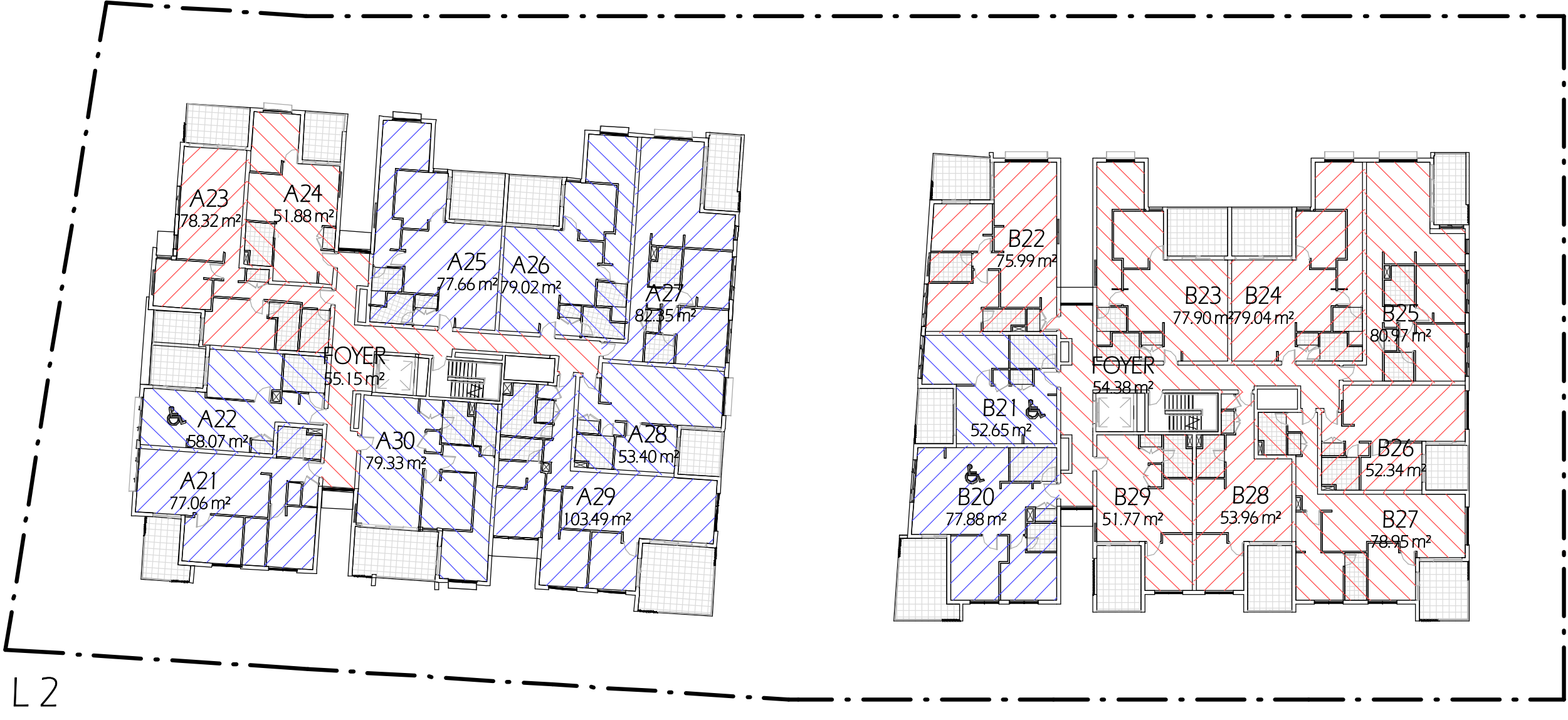
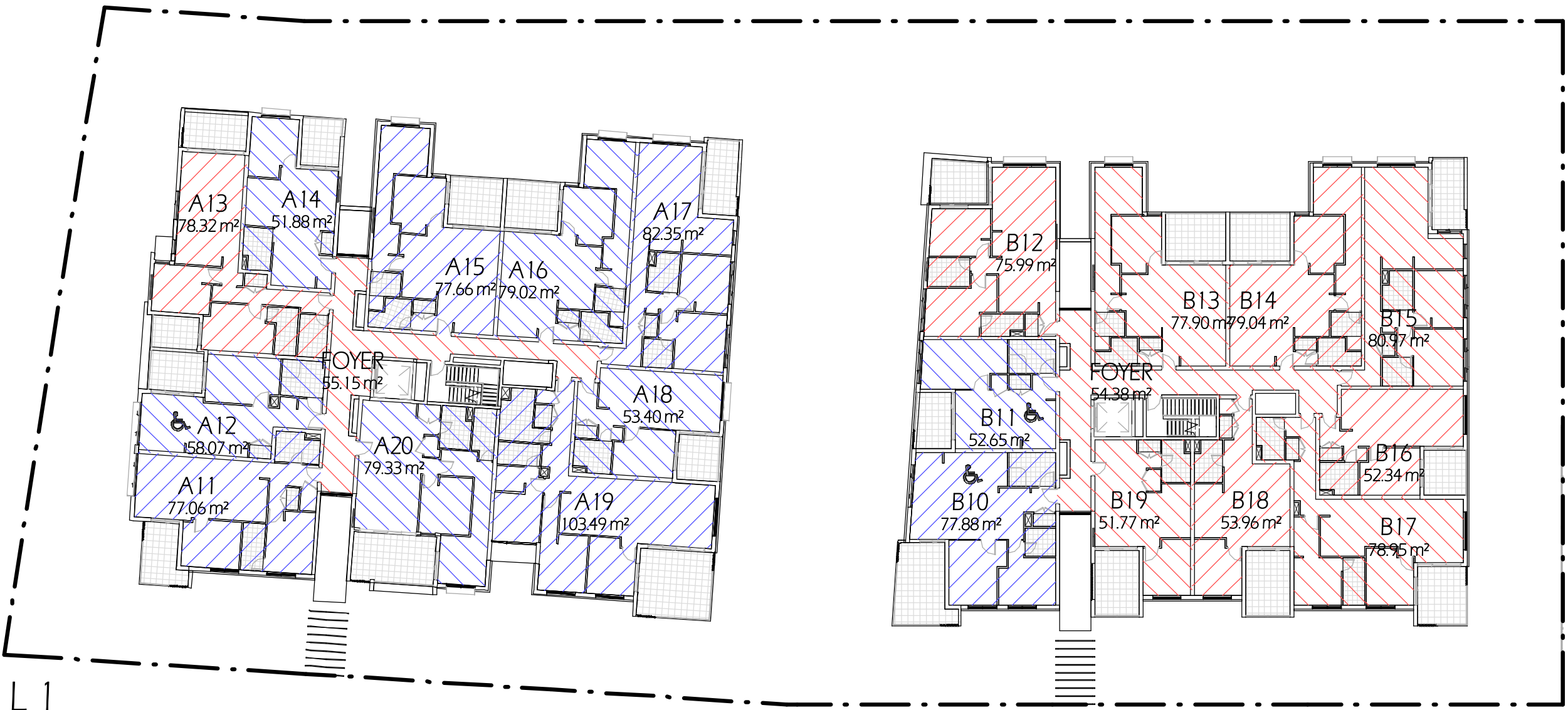
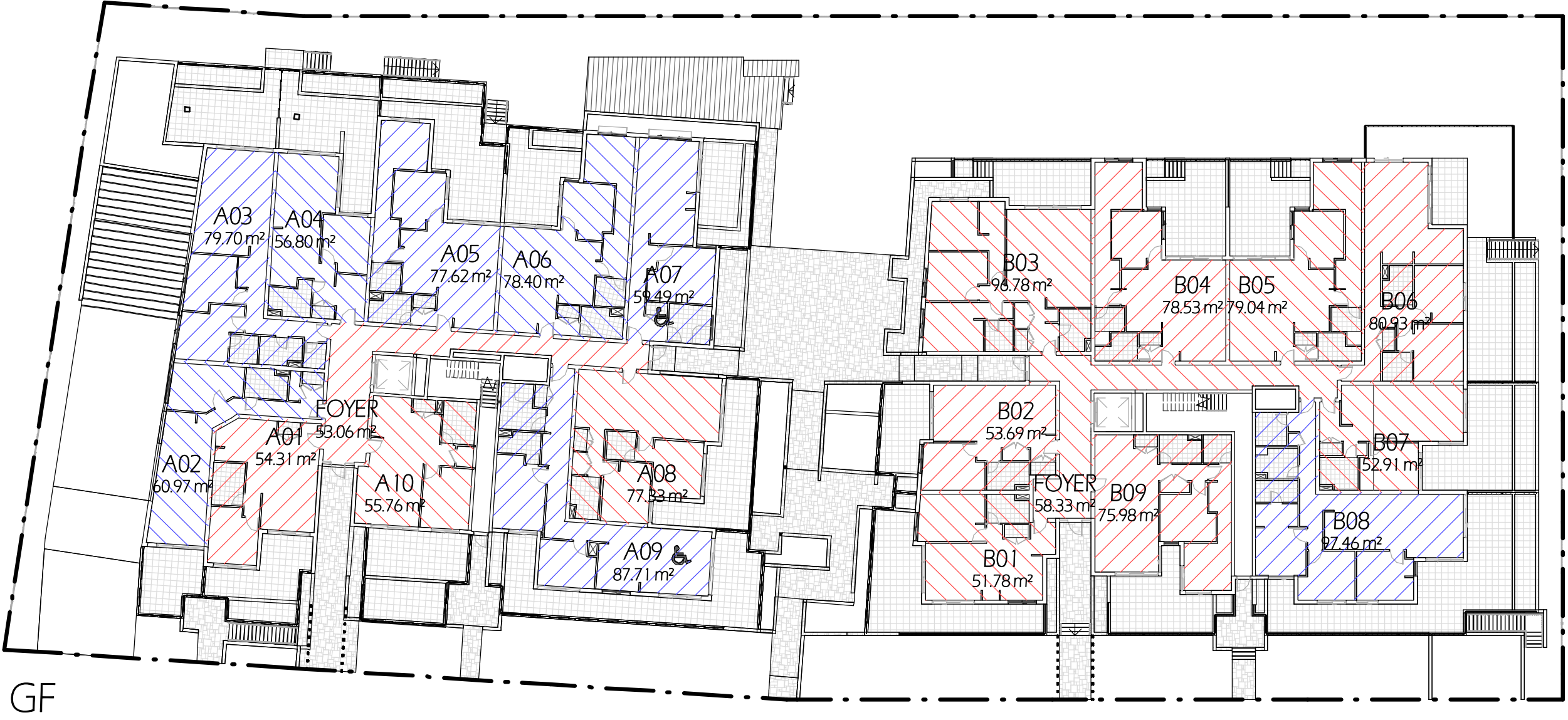
PRIVATE			
Name	Area	Unit Type	Comments
A01	54.3 m ²	1 Bed	PRIVATE
A10	55.8 m ²	1 Bed	PRIVATE
A24	51.9 m ²	1 Bed	PRIVATE
A33	52.9 m ²	1 Bed	PRIVATE
A34	53.5 m ²	1 Bed	PRIVATE
B01	51.8 m ²	1 Bed	PRIVATE
B02	53.7 m ²	1 Bed	PRIVATE
B07	52.9 m ²	1 Bed	PRIVATE
B16	52.3 m ²	1 Bed	PRIVATE
B18	54.0 m ²	1 Bed	PRIVATE
B19	51.8 m ²	1 Bed	PRIVATE
B26	52.3 m ²	1 Bed	PRIVATE
B28	54.0 m ²	1 Bed	PRIVATE
B29	51.8 m ²	1 Bed	PRIVATE

1 Bed: 14	742.8 m ²		
A08	77.3 m ²	2 Bed	PRIVATE
A13	78.3 m ²	2 Bed	PRIVATE
A23	78.3 m ²	2 Bed	PRIVATE
A31	77.3 m ²	2 Bed	PRIVATE
A35	78.9 m ²	2 Bed	PRIVATE
A36	77.5 m ²	2 Bed	PRIVATE
A37	77.5 m ²	2 Bed	PRIVATE
B04	78.5 m ²	2 Bed	PRIVATE
B05	79.0 m ²	2 Bed	PRIVATE
B06	80.9 m ²	2 Bed	PRIVATE
B09	76.0 m ²	2 Bed	PRIVATE
B12	76.0 m ²	2 Bed	PRIVATE
B13	77.9 m ²	2 Bed	PRIVATE
B14	79.0 m ²	2 Bed	PRIVATE
B15	81.0 m ²	2 Bed	PRIVATE
B17	78.9 m ²	2 Bed	PRIVATE
B22	76.0 m ²	2 Bed	PRIVATE
B23	77.9 m ²	2 Bed	PRIVATE
B24	79.0 m ²	2 Bed	PRIVATE
B25	81.0 m ²	2 Bed	PRIVATE
B27	78.9 m ²	2 Bed	PRIVATE
B30	76.4 m ²	2 Bed	PRIVATE
B31	77.0 m ²	2 Bed	PRIVATE
B32	78.0 m ²	2 Bed	PRIVATE
B33	79.7 m ²	2 Bed	PRIVATE
B35	78.0 m ²	2 Bed	PRIVATE

2 Bed: 26	2034.6 m ²		
A32	97.0 m ²	3 Bed	PRIVATE
B03	96.8 m ²	3 Bed	PRIVATE
B34	98.4 m ²	3 Bed	PRIVATE

3 Bed: 3 292.1 m²
Grand total: 3069.5 m²
43

PRIVATE
AFFORDABLE



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PROJECT STATUS :
Development Application

PROJECT NAME
PROPOSED RESIDENTIAL
DEVELOPMENT
824 - 834 FOREST ROAD
PEAKHURST, NSW 2210
LGA : GEORGES RIVER COUNCIL

SHEET TITLE
AFFORDABLE HOUSING
CALCULATION

SCALE
85/8
JOB No.

DA15
DRAWING No.

B
ISSUE



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AMENDMENT

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824 - 834 FOREST ROAD
PEAKHURST, NSW 2210

LGA : GEORGES RIVER COUNCIL

SHEET TITLE:

PHOTOMONTAGE

SCALE
85/78
JOB No.

DA18
DRAWING No.

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